

Town of Starksboro Development Review Board Hearing Exhibit List

Applicant: McCormick
Application # 26-DRB-03SD

Date of Hearing: 6/25/2026
Hearing Type: Subdivision Final Plan Review Review Hearing

Exhibit #	Description	Date entered	Submitted by:
A	Warning dated May 21, 2026	5/26/26	ZA
B	Abutter Map dated 5/19/26	5/26/26	ZA
C	Abutter Mailing Affidavit dated 5/19/26	5/26/26	ZA
D	Applicant Cover Letter dated 5/13/26	5/26/26	Applicant
E	DRB Application dated 3/8/26, recvd 5/14/26	5/26/26	Applicant
F	Project Description and Subdivision Review Criteria responses dated May 13, 2026	5/26/26	Applicant
G	Abutter List recvd 5/14/26	5/26/26	Applicant
H	Bernard & Gervais Authorization Letter dated 3/6/26	5/26/26	Applicant
I	VT GIS Wetlands map dated 3/2/26	5/26/26	Applicant
J	VT GIS River Corridor/SFHA Map dated 3/2/26	5/26/26	Applicant
K	VT GIS Slopes Map dated 5/2/26	5/26/26	Applicant
L	Dwg. P-1, Two-Lot Subdivision Survey Plat dated 5/5/26	5/26/26	Applicant
M	Dwg. S-1, Overall Subdivision Plan, dated 5/5/26	5/26/26	Applicant
N	Dwg. S-2, Lot 2 Site Plan, dated 5/5/26	5/26/26	Applicant

O	Dwg. D-1 Lot 2 Wastewater System Details and Notes, dated 5/5/26	5/26/26	Applicant
P	Dwg. D-2, Lot 2 Wastewater System Details and Notes and In-Ground System Construction Instructions, dated 5/5/26	5/26/26	Applicant
Q	Pre-application meeting notes by ZA dated 3/17/26	5/26/26	ZA
R	State Wastewater-Potable Water Supply Permit amendment XXX	XXX	Applicant

TOWN OF STARKSBORO
DEVELOPMENT REVIEW BOARD
NOTICE OF HEARING

Donald R. the III and Amy McCormick submitted application 26-DRB-03SD for a Final Plan Review Hearing for a 2-lot subdivision located on a 21.6+/- acre parcel #10972 at 50 VT Route 116 in the Town of Starksboro. The proposed subdivision is in the ASRR district. The Final Plan Review Hearing on this application will be held per the 2020 Starksboro Land Use and Development Regulations (SLUDR).

The Starksboro Development Review Board will conduct the hearing on **June 25, 2026**, starting at 6:30p.m. at the Starksboro Town Office with remote access (info below). The full application is available to review by request of the Starksboro zoning office, and on the website at <https://www.starksborovt.org/agendas-and-minutes>

Pursuant to 24 V.S.A. §§ 4464(a)(1)(C) participation in this local proceeding is prerequisite to the right to take any subsequent appeal.

Town of Starksboro is inviting you to a scheduled Zoom meeting.

<https://us02web.zoom.us/j/89617415124>

Meeting ID: 896 1741 5124
Or by Phone: +13052241968

Warning Date : May 21, 2026

SPAN: 615-193-11061
STARKSBORO | PARCEL
140 VT ROUTE 116

OWNERSHIP
**THOMPSON BRADLEY
THOMPSON ALEXANDRA**
140 VT ROUTE 116
BRISTOL, VT 05443

SPAN: 615-193-10195
STARKSBORO | PARCEL
319 IRELAND ROAD

OWNERSHIP
O'BRYAN MELLISSA
PO BOX 81
STARKSBORO, VT 05487
Type: T (Grand List owner is a
Town Resident)

Exhibit B

26-DRB-03SD
McCormick
Abutter Map
5/19/2026

SPAN: 615-193-10609
STARKSBORO | PARCEL
VT ROUTE 116

OWNERSHIP
**DMV PROPERTIES INC
CASEY DAVID &
VERONICA & DENNIS &
PEGGY**

SPAN: 615-193-10973
STARKSBORO | PARCEL
52 VT ROUTE 116

OWNERSHIP
DESMARAIS RICHARD J
PO BOX 17
STARKSBORO, VT 05487

SPAN # 093-029-10656

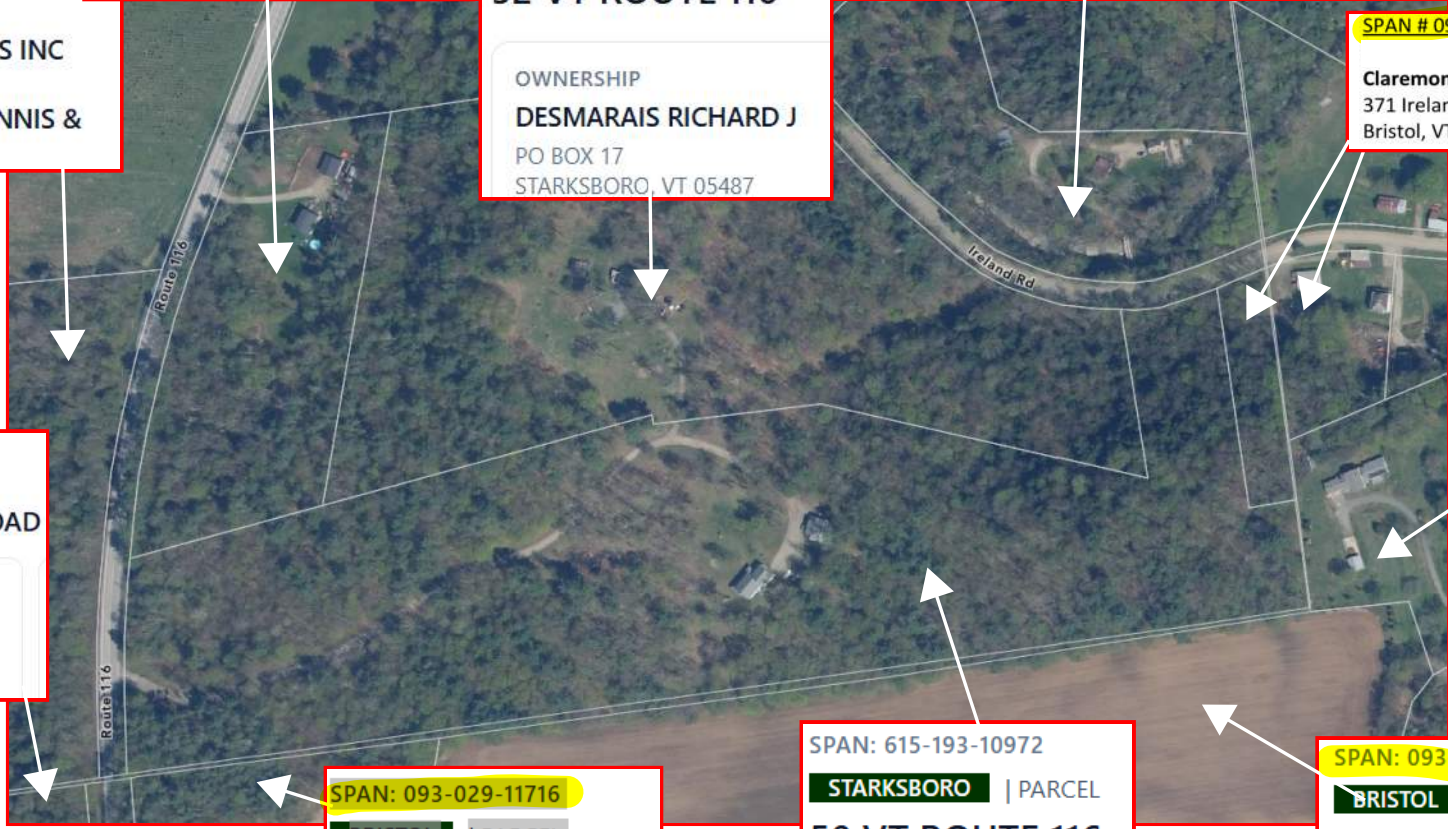
Claremond A. Goodrich
371 Ireland Road
Bristol, VT 05443

SPAN: 093-029-11138
BRISTOL | PARCEL
3536 NORTH 116 ROAD

OWNERSHIP
**DMV PROPERTIES INC
CO DENNIS W CASEY**
PO BOX 31
STARKSBORO, VT 05487

SPAN: 093-029-10381
BRISTOL | PARCEL
1833 MEEHAN ROAD

OWNERSHIP
**LAWRENCE DONALD K
LIFE ESTATE
LAWRENCE CHERYL H**
1833 MEEHAN ROAD
BRISTOL, VT 05443



SPAN: 093-029-11716
BRISTOL | PARCEL
4036 NORTH 116 ROAD

OWNERSHIP
**MCCORMICK PHILIP
ROCKWELL MARGARET**
PO BOX 3
STARKSBORO, VT 05487

SPAN: 615-193-10972
STARKSBORO | PARCEL
50 VT ROUTE 116

OWNERSHIP
**MCCORMICK
DONALD R III
MCCORMICK AMY L**
PO BOX 33
STARKSBORO, VT 05487

SPAN: 093-029-11226
BRISTOL | PARCEL
MEEHAN ROAD

OWNERSHIP
**BESSETTE MELANIE J
BESSETTE EDWARD M**
2291 LIME KILN ROAD
NEW HAVEN, VT 05472

Town of Starksboro

PO Box 91, Starksboro VT 05487
zoning@starksborovt.org

ABUTTERS MAILING AFFIDAVIT

Exhibit C


Pursuant to section #410 of the Starksboro Land Use Development Regulations I, Stephen Rooney, Zoning Administrator for the Town of Starksboro, hereby acknowledges that on MAY 19, 2026 that I sent by US 1st class mail the attached "notice of public hearing", for application 26-DRB-03SD to the following list of abutting property owners and others requesting notice.



Stephen Rooney, Zoning Administrator

Date: 5/19/26

I attest by my signature below that I have reviewed this list and that it was mailed on 5/19/26.


Attest:  _____, Town Clerk/ Assistant Town Clerk/ Town Admin

Notice Required to abutting Town per 24 VSA § 4463(a) for major subdivision (Y/N)? _____

If yes, Address of Abutting Town: _____

Applicants: McCormick, Parcel 10972, 50 VT Route 116

Abutters or Participants	
Parcel #	Name and Address
10609 / 11138 (Bristol)	DMV Properties, Inc. and David & Veronica & Dennis & Peggy Casey PO Box 31 Starksboro, VT 05487
11061	Bradley & Alexandra Thompson 140 VT Route 116 Bristol, VT 05443
10973	Richard J. Desmarais PO Box 17 Starksboro, VT 05487
10195	Melissa O'Bryan PO Box 81 Starksboro, VT 05487
10656 (Bristol)	Claremond A. 371 Ireland Road Bristol, VT 05443
10381 (Bristol)	Donald K. Lawrence Life Estate & Cheryl H. Lawrence 1833 Meehan Road Bristol, VT 05443
11226 (Bristol)	Melanie J. & Edward M. Bessette 2291 Lime Kiln Road New Haven, VT 05472
11716 (Bristol)	Philip McCormick & Margaret Rockwell PO Box 3 Starksboro, VT 05487

STARKSBORO VT
05487-9998
MAY 19 2026
USPS


BARNARD & GERVAIS, LLC

Land Surveyors, Licensed Designers, Environmental Consultants

www.barnardandgervais.com



May 13, 2026

Town of Starksboro
Attn: Steve Rooney, Zoning Administrator
PO Box 91
Starksboro, VT 05487

Town of Starksboro
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Exhibit D

Subject: Donald & Amy McCormick, Two-Lot Subdivision, 50 VT Route 116, Starksboro, Vermont –
Subdivision Final Plat Application and Required Information

Dear Steve:

I am writing on behalf of Donald & Amy McCormick to formally request Development Review Board Final Plat review relative to a proposed Two-Lot Subdivision of their 21.6± acre residential parcel located at 50 VT Route 116 in Starksboro. As a result of this subdivision, one (1) new developable parcel (Lot 2) will be created. In accordance with the Town of Starksboro Land Use and Development Regulations, the following items are being submitted:

1. Town of Starksboro Development Review Board (DRB) Application.
2. Project Narrative.
3. Names and Addresses of Adjoining Property Owners.
4. Authorized Representatives Letter.
5. Vermont VCGI Natural Resource Maps:
 - a. VSWI & Advisory Wetlands.
 - b. River Corridors & SFHAs.
 - c. Slopes.
6. Survey Plat, dated 05-05-2026:
 - a. Drawing PL-1 – Two-Lot Subdivision Survey Plat.
7. Design Drawings, dated 05-05-2026:
 - a. Drawing S-1 – Overall Subdivision Plan.
 - b. Drawing S-2 – Lot 2 Site Plan.
 - c. Drawing D-1 – Lot 2 Wastewater System Details and Notes.
 - d. Drawing D-2 – Lot 2 Water System Details and Notes & WW Construction Notes.

Please review the included information and let me know if there are any other items that are required for the Final Plat hearing. In the meantime, should you have any questions or comments, please do not hesitate to give me a call at (802) 482-2597.

Sincerely,

Jason S. Barnard
Licensed Designer #126179

c: Donald & Amy McCormick

Development Review Board Application

Address of property: 50 VT Route 116 Parcel ID (last 5 digits of SPAN): 10972

Property Owner (see Page 2): Donald R. McCormick, III

Property Owner Amy L. McCormick

Mailing Address: P.O. Box 33, Starksboro, VT 05487

Signature of Owner: [Signature] Date 3/8/26

Signature of Owner: [Signature] Date 3/8/26

Applicant (see Page 2): Donald R. McCormick, III & Amy L. McCormick

Mailing Address: P.O. Box 33, Starksboro, VT 05487

Signature of Applicant: [Signature] [Signature] Date 3/8/26

Exhibit E
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Application Type (check all that apply):

- Variance** (per section 422)
Specific relief requested: _____
- Waiver** (per section 423)
Specific relief requested: _____
- Site Plan Review** (per section 424, "S" designation in Use Table, or other Section).
Project description and Zoning Permit #: _____
- Conditional Use Review** (per section 425, "C" designation in Use Table, or other Section)
Project description and Zoning Permit #: _____
- Subdivision** (per Section 426). Pre-application meeting date: _____
 Minor _____ Major Total # Lots 2
- Planned Unit Development** (per Section 427). Pre-application meeting date: _____
- Appeal of decision by Zoning Administrator** (per section 421)
Permit # or other decision being appealed: _____
- Other (specify)** _____

> Before the application can be deemed complete, the property owner or applicant must submit with this application the applicable fees and appropriate pertinent information as required by the Starksboro Land Use and Development Regulations. Once the application is deemed complete by the Zoning Administrator or DRB, the Town has 60 days to warn a public hearing. See Page 2 and 3 for required submittals and other information.

Administrator/DRB use only

DRB Application Number: 26-DRB-03SD Fee Paid: \$375 Date Deemed Complete: 5/18/26

Warning Public Notice date: 5/21/26 Final Hearing date: 6/25/26 Date of decision: _____

DRB Chair: _____ DRB Clerk/ZA: _____

Zoning office notes: _____

Donald R., III & Amy L. McCormick
Two-Lot Subdivision
50 VT Route 116
Starksboro, Vermont

Subdivision Narrative
May 13, 2026

Exhibit F

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Project Description

Donald R., III & Amy L. McCormick own a 21.6± acre residential parcel located at 50 VT Route 116 in Starksboro. The parcel is improved with a single-family residence, detached garage, drilled well, wastewater system and gravel drive. A portion of the gravel drive is shared with the adjoining parcel to the north and includes a 50' wide R.O.W. for access. The parcel includes 8.5± acres of Open Space area.

Donald R., III & Amy L. McCormick are proposing to complete a two-lot subdivision of the subject parcel. The purpose of this subdivision is to create one (1) new developable residential parcel (Lot 2) that will be 1.97± acres in size. Lot 2 will be conveyed to their son, Alex, and the parcel will be improved with a single-family residence. The new residence will be served by an individual on-site wastewater system and provided water by an individual on-site drilled bedrock well.

Town of Starksboro, Land Use and Development Regulations

In accordance with **Section 426.E Review Criteria** of the Town of Starksboro Land Use and Development Review regulations, the applicant shall demonstrate to the Development Review Board (DRB) that the proposed subdivision conforms to the review criteria listed below.

- 1) **Siting and Suitability** – The proposed subdivision will create one (1) new developable parcel with a suitable building site along the existing shared drive. The proposed house site contains well-drained soils with gently sloping to level topography. The proposed subdivision has been designed in accordance with the density and dimensional standards presented in Section 211 of the Starksboro Land Use Regulations. In accordance with sections 254.C a building envelope will be established for Lots 1 and 2 .

- 2) **Natural Features** – The proposed subdivision boundaries are based on existing natural features, site improvements and land use to the greatest extent practicable. Proposed Lot 2 is configured to be 1.97± acres in size and regularly-shaped with the house site at the

approximate center of the lot, bounded by the drive to the south, existing residence to the east, property boundary and neighboring residence to the north, and moderate slopes to the west. The Lot 2 residence will result in a small rural cluster of three homes on this plateau, without fragmenting the surrounding farmland and forestland.

- 3) **Character of the Area and Privacy** – The general character of this area of Starksboro (and neighboring Bristol) is primarily single-family rural residential homes, with a variety of businesses and agriculture. Existing development is generally located among wooded areas, along access roads/drives and along clearings. As proposed, the subdivision creates one (1) developable lot along the existing shared drive for single-family residential use. Minimal clearing is necessary to accommodate the proposed development, while maintaining adequate privacy and separation from existing homes.

- 4) **Energy Conservation and Access to Renewable Energy** – The proposed Lot 2 residence will meet the most recent energy conservation standards, including the Vermont Residential Building Energy Standards (VT-RBES). Further, the Lot 2 house site benefits from the existing shared drive clearing to increase winter solar gain.

- 5) **Access and Circulation** – Proposed Lot 2 will be accessed from VT Route 116 via the existing shared gravel drive within the existing 50’ wide R.O.W. The existing gravel drive was previously approved by VTTrans as part of the Josh Larocque subdivision. The addition of a single-family residence will not have undue adverse effect on the condition, capacity, safety or function of VT Route 116. A pull-off area will be added less than 500’ from VT Route 116, with improved pull-off/turn-around area(s) at the end of the shared drive. The shared gravel drive will provide suitable pedestrian access within the subdivision and connecting to the VT Route 116 R.O.W.; no sidewalks are proposed.

- 6) **Infrastructure, Utilities, Facilities and Services** – VT Route 116 is currently a state highway and will continue to be maintained by the Vermont Agency of Transportation (VTRANS). Starksboro presently provides fire service to this area and will continue to provide this service. Pull-off and turn-around areas will be provided for suitable emergency vehicle access. Existing utility services for the existing residence are located underground and will be extended underground to serve the proposed Lot 2 residence. Water supply and wastewater disposal will be accommodated on-site.

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- 7) **Lighting** – Any new lighting will be typical of rural residential homes and will be installed so that exterior lighting is down-shielded to mitigate light trespass off the proposed parcels. All new exterior lighting will be compliant with Section 314 of the Town of Starksboro Land Use Regulations.

- 8) **Recreation** – Within the ½- to 2-acre permitted lot size range for the ASRR zoning district, proposed Lot 2 is sized to be just under the 2-acre maximum to provide sufficient area for on-site recreation. Given the small scale (2-lots) of the subdivision and its rural setting, no additional recreational facilities are proposed.

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Donald R., III & Amy L. McCormick
50 VT Route 116
Starksboro, VT 05487
SPAN # 615-193-10972

Exhibit G

Town of Starksboro
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05/14/2026

Adjoining Property Owners

SPAN # 615-193-10609

**DMV Properties, Inc. and
David & Veronica & Dennis & Peggy Casey**
PO Box 31
Starksboro, VT 05487

SPAN # 093-029-10381

**Donald K. Lawrence Life Estate &
Cheryl H. Lawrence**
1833 Meehan Road
Bristol, VT 05443

SPAN # 615-193-11061

Bradley & Alexandra Thompson
140 VT Route 116
Bristol, VT 05443

SPAN # 093-029-11226

Melanie J. & Edward M. Bessette
2291 Lime Kiln Road
New Haven, VT 05472

SPAN # 615-193-10973

Richard J. Desmarais
PO Box 17
Starksboro, VT 05487

SPAN # 093-029-11716

Philip McCormick & Margaret Rockwell
PO Box 3
Starksboro, VT 05487

SPAN # 615-193-10195

Melissa O'Bryan
PO Box 81
Starksboro, VT 05487

SPAN # 093-029-11138

**DMV Properties, Inc.
c/o Dennis Casey**
PO Box 31
Starksboro, VT 05487

SPAN # 093-029-10656

**Mary Goodrich Life Estate and
Claremond A. & Frederick A. Goodrich**
371 Ireland Road
Bristol, VT 05443

BARNARD & GERVAIS, LLC

Land Surveyors, Licensed Designers, Environmental Consultants

www.barnardandgervais.com



March 6, 2026

Barnard and Gervais, LLC
PO Box 133
Hinesburg, VT 05461

Town of Starksboro
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05/14/2026

Exhibit H

Authorization Letter

Re: Authorization to Act on Behalf of Property Owner

Dear Steve,

I, the undersigned, hereby confirm that I am duly authorized by the legal owner of the property located at:

Property Address: 50 VT Route 116, Starksboro, VT

to act on their behalf in connection with the following application:

Application Description: Donald & Amy McCormick, Two 2-Lot Subdivision.

This authorization includes, but is not limited to:

- Preparing, submitting, and managing the application on the Owner's behalf;
- Representing the Owner in all related matters before the relevant authorities;
- Sending and receiving all correspondence related to the application like approvals or determinations;
- Making decisions or representations as required during the course of the application process.

Furthermore, this authorization extends to **employees & subcontractors of Barnard and Gervais, LLC**, permitting them to act on behalf of the Owner with respect to this project, as described above.

This authorization shall remain in effect until completion of the application process or until it is revoked in writing by the Owner.

Authorized Representative Contact Details:

Name: **Jason S. Barnard**

Company: **Barnard & Gervais, LLC**

Phone: 802-482-2597

Email: jason@barnardandgervais.com

Exhibit H

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Owner Details and Signature:

Name of Legal Owner: Donald R. McCormick, III & Amy L. McCormick

Signature of Owner: Donald R. McCormick, III Amy L. McCormick

Date: 3/8/26

Sincerely,



Jason S. Barnard
Licensed Designer #126179

c: Donald R. McCormick, III & Amy L. McCormick



McCormick Site: VSWI & Advisory Wetlands

Vermont Center for Geographic Information

vermont.gov



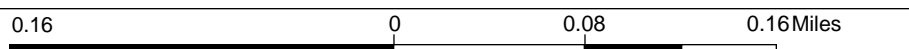
LEGEND

- Building footprints
- Parcel polygons
- Inactive parcels
- Airports
- Mountains and Hills
- US Highways
- State Highways
- Roads - Public (VTrans)**
 - Interstate Highway
 - US Highway
 - State Highway
 - Local road
 - Other road
 - Legal trail
- Roads - Private (E911)**
- Driveways
- Rail Lines
- Town Boundaries
- County Boundaries
- VT Significant Wetland Invent
- VT Wetlands Advisory Layer

Town of Starksboro
RECEIVED Exhibit I
05/14/2026



1:5,045
March 2, 2026



WGS_1984_Web_Mercator_Auxiliary_Sphere
© Vermont Center For Geographic Information
1" = 420 Ft. 1cm = 50 Meters
THIS MAP IS NOT TO BE USED FOR NAVIGATION

DISCLAIMER: This map is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. VCGI and the State of Vermont make no representations of any kind, including but not limited to, the warranties of merchantability, or fitness for a particular use, nor are any such warranties to be implied with respect to the data on this map.

NOTES

This map was created with the VT Interactive Map Viewer.

Town of Starksboro
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05/14/2026

Exhibit J



LEGEND

- Building footprints
- Parcel polygons
- Inactive parcels
- Airports
- Mountains and Hills
- US Highways
- State Highways
- Roads - Public (VTrans)**
- Interstate Highway
- US Highway
- State Highway
- Local road
- Other road
- Legal trail
- Roads - Private (E911)
- Driveways
- Rail Lines
- Town Boundaries
- County Boundaries
- LOMRs
- Political Jurisdictions
- Profile Baselines
- Cross-Sections
- Base Flood Elevations
- Levees
- Coastal Transects
- Transect Baselines

1:5,045
March 2, 2026



0.16 0 0.08 0.16 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere 1" = 420 Ft. 1cm = 50 Meters
© Vermont Center For Geographic Information THIS MAP IS NOT TO BE USED FOR NAVIGATION

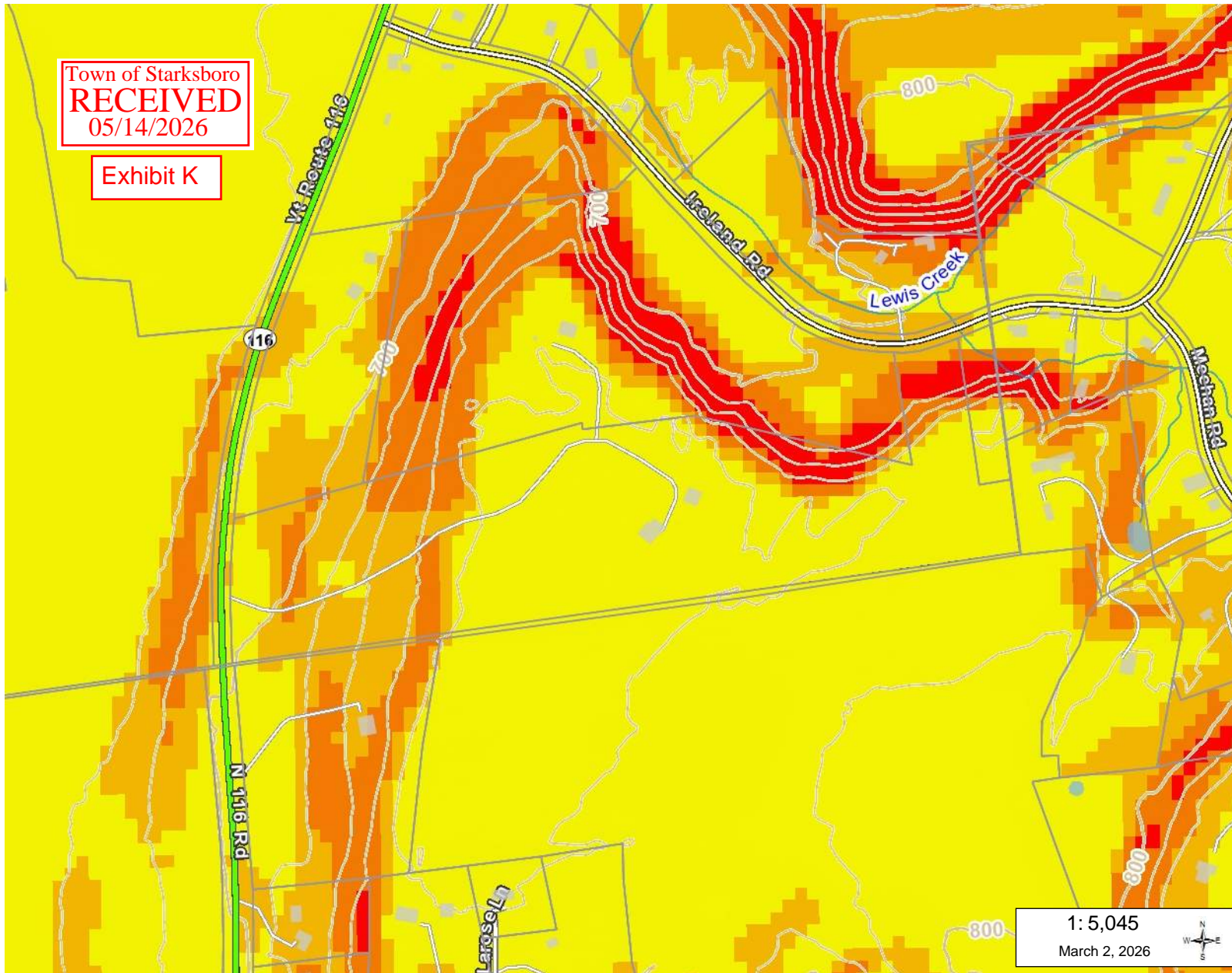
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NOTES

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Town of Starksboro
RECEIVED
05/14/2026

Exhibit K



LEGEND

- Building footprints
- Parcel polygons
- Inactive parcels
- Airports
- Mountains and Hills
- US Highways
- State Highways
- Roads - Public (VTrans)**
 - Interstate Highway
 - US Highway
 - State Highway
 - Local road
 - Other road
 - Legal trail
- Roads - Private (E911)
- Driveways
- Rail Lines
- Town Boundaries
- County Boundaries
- Areas above 2500 ft
- Slope Angle (percent slope)**
 - 2 - 10
 - 10 - 20
 - 20 - 36
 - 36 - 100
 - 100 - 330



1: 5,045
March 2, 2026



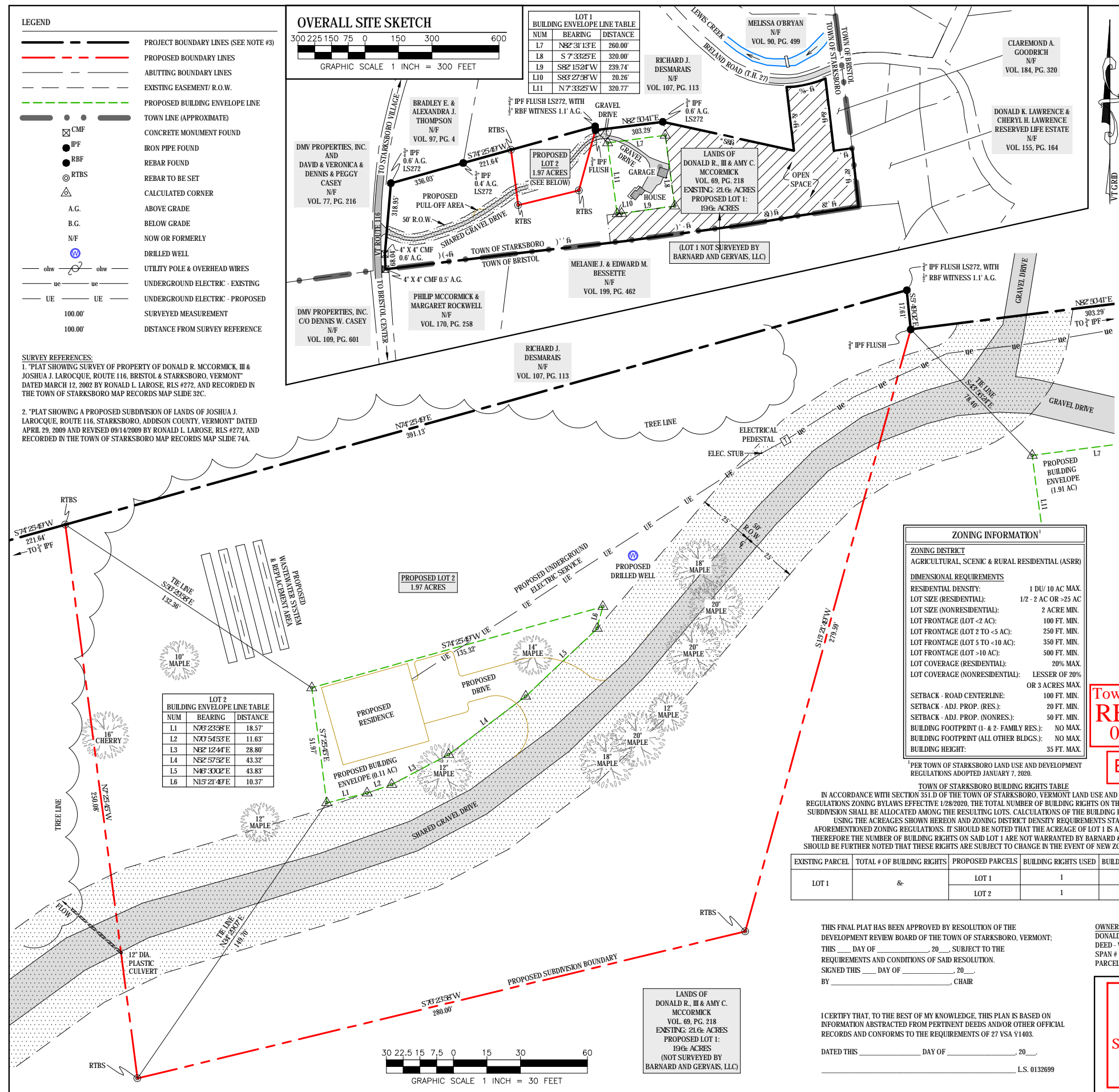
0.16 0 0.08 0.16 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere 1" = 420 Ft. 1cm = 50 Meters
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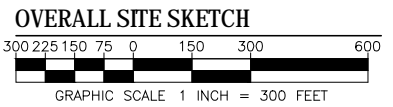
NOTES

This map was created with the VT Interactive Map Viewer.



LEGEND

- PROJECT BOUNDARY LINES (SEE NOTE #3)
- - - PROPOSED BOUNDARY LINES
- ABUTTING BOUNDARY LINES
- EXISTING EASEMENT/ R.O.W.
- PROPOSED BUILDING ENVELOPE LINE
- TOWN LINE (APPROXIMATE)
- CMF CONCRETE MONUMENT FOUND
- IPF IRON PIPE FOUND
- RFB REBAR FOUND
- RTBS REBAR TO BE SET
- ▲ CALCULATED CORNER
- A.G. ABOVE GRADE
- B.G. BELOW GRADE
- N/F NOW OR FORMERLY
- DRILLED WELL
- ohw UTILITY POLE & OVERHEAD WIRES
- ue UNDERGROUND ELECTRIC - EXISTING
- UE UNDERGROUND ELECTRIC - PROPOSED
- 100.00' SURVEYED MEASUREMENT
- 100.00' DISTANCE FROM SURVEY REFERENCE



LOT 1 BUILDING ENVELOPE LINE TABLE

NUM	BEARING	DISTANCE
L7	N82°31'13"E	260.00'
L8	S 7°33'25"E	320.00'
L9	S82°15'24"W	239.74'
L10	S83°27'38"W	20.26'
L11	N7°33'25"W	320.77'

SURVEY REFERENCES:

1. "PLAT SHOWING SURVEY OF PROPERTY OF DONALD R. MCCORMICK, III & JOSHUA J. LAROQUE, ROUTE 116, BRISTOL & STARKSBORO, VERMONT" DATED MARCH 12, 2002 BY RONALD L. LAROSE, RLS #272, AND RECORDED IN THE TOWN OF STARKSBORO MAP RECORDS MAP SLIDE 32C.

2. "PLAT SHOWING A PROPOSED SUBDIVISION OF LANDS OF JOSHUA J. LAROQUE, ROUTE 116, STARKSBORO, ADDISON COUNTY, VERMONT" DATED APRIL 29, 2009 AND REVISED 09/14/2009 BY RONALD L. LAROSE, RLS #272, AND RECORDED IN THE TOWN OF STARKSBORO MAP RECORDS MAP SLIDE 74A.

LOT 2 BUILDING ENVELOPE LINE TABLE

NUM	BEARING	DISTANCE
L1	N73°23'58"E	18.57'
L2	N70°54'53"E	11.63'
L3	N2°12'44"E	28.80'
L4	N2°57'52"E	43.32'
L5	N43°30'02"E	43.83'
L6	N15°21'49"E	10.37'

ZONING INFORMATION

ZONING DISTRICT: AGRICULTURAL, SCENIC & RURAL RESIDENTIAL (ASRR)

RESIDENTIAL DENSITY: 1 DU/ 10 AC MAX.

LOT SIZE (RESIDENTIAL): 1/2 - 2 AC OR -25 AC

LOT SIZE (NONRESIDENTIAL): 2 ACRE MIN.

LOT FRONTAGE (LOT <2 AC): 100 FT. MIN.

LOT FRONTAGE (LOT 2 TO <5 AC): 250 FT. MIN.

LOT FRONTAGE (LOT 5 TO <10 AC): 350 FT. MIN.

LOT FRONTAGE (LOT >10 AC): 500 FT. MIN.

LOT COVERAGE (RESIDENTIAL): 20% MAX.

LOT COVERAGE (NONRESIDENTIAL): LESSER OF 20% OR 3 ACRES MAX.

SETBACK - ROAD CENTERLINE: 100 FT. MIN.

SETBACK - ADJ. PROP. (RES.): 20 FT. MIN.

SETBACK - ADJ. PROP. (NONRES.): 50 FT. MIN.

BUILDING FOOTPRINT (1- & 2- FAMILY RES.): NO MAX.

BUILDING FOOTPRINT (ALL OTHER BLDGS.): NO MAX.

BUILDING HEIGHT: 35 FT. MAX.

TOWN OF STARKSBORO BUILDING RIGHTS TABLE

IN ACCORDANCE WITH SECTION 351.D OF THE TOWN OF STARKSBORO, VERMONT LAND USE AND DEVELOPMENT REGULATIONS ZONING BYLAWS EFFECTIVE 1/28/2020, THE TOTAL NUMBER OF BUILDING RIGHTS ON THE PARCEL PRIOR TO SUBDIVISION SHALL BE ALLOCATED AMONG THE RESULTING LOTS. CALCULATIONS OF THE BUILDING RIGHTS WERE MADE USING THE ACRES SHOWN HEREON AND ZONING DISTRICT DENSITY REQUIREMENTS STATED IN THE AFOREMENTIONED ZONING REGULATIONS. IT SHOULD BE NOTED THAT THE ACREAGE OF LOT 1 IS APPROXIMATE AND THEREFORE THE NUMBER OF BUILDING RIGHTS ON SAID LOT 1 ARE NOT WARRANTED BY BARNARD & GERVAIS, LLC. IT SHOULD BE FURTHER NOTED THAT THESE RIGHTS ARE SUBJECT TO CHANGE IN THE EVENT OF NEW ZONING REGULATIONS.

EXISTING PARCEL	TOTAL # OF BUILDING RIGHTS	PROPOSED PARCELS	BUILDING RIGHTS USED	BUILDING RIGHTS REMAINING
LOT 1	2	LOT 1	1	0
		LOT 2	1	0

EXISTING PARCEL	TOTAL # OF BUILDING RIGHTS	PROPOSED PARCELS	BUILDING RIGHTS USED	BUILDING RIGHTS REMAINING
LOT 1	2	LOT 1	1	0
		LOT 2	1	0

THIS FINAL PLAT HAS BEEN APPROVED BY RESOLUTION OF THE DEVELOPMENT REVIEW BOARD OF THE TOWN OF STARKSBORO, VERMONT; THIS ___ DAY OF _____, 20___ SUBJECT TO THE REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. SIGNED THIS ___ DAY OF _____, 20___ BY _____ CHAIR

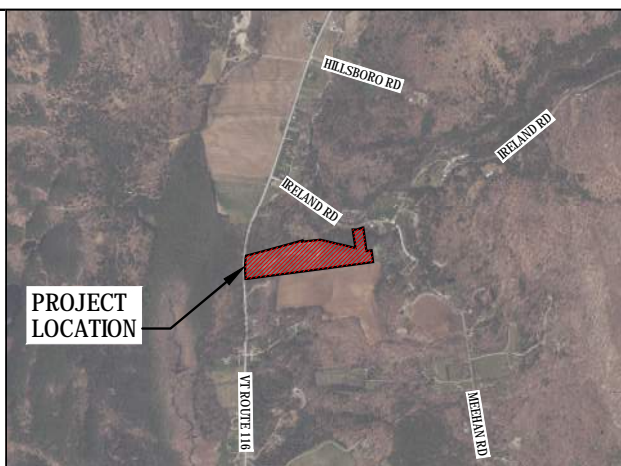
I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THIS PLAN IS BASED ON INFORMATION ABSTRACTED FROM PERTINENT DEEDS AND/OR OTHER OFFICIAL RECORDS AND CONFORMS TO THE REQUIREMENTS OF 27 VSA §1403.

DATED THIS ___ DAY OF _____, 20___

L.S. 0132699

OWNER:
DONALD R., III & AMY L. MCCORMICK
DEED - VOL. 69, PG. 218
SPAN # 615-193-10972
PARCEL ID # 10972

05-05-2026 FOR: TOWN OF STARKSBORO FINAL PLAT REVIEW



LOCATION PLAN N.T.S.

- SURVEY NOTES:**
- BEARINGS SHOWN HEREON WERE GENERATED FROM SURVEY GRADE GNSS READINGS COLLECTED WITH A TRIMBLE R121 GNSS RECEIVER ON RANDOM CONTROL POINTS AND ADJUSTED TO VT GRID NAD83(2011) USING REAL TIME KINEMATIC CORRECTIONS FROM A VIRTUAL REFERENCE STATION GENERATED BY THE VERMONT CORS NETWORK.
 - NO ATTEMPT HAS BEEN MADE TO LOCATE OR IDENTIFY ANY EASEMENTS OR RIGHTS OF WAYS UNLESS OTHERWISE SHOWN ON THIS PLAN.
 - PERMETER BOUNDARIES AND EXISTING EASEMENT/ RIGHT OF WAY INFORMATION SHOWN HEREON ARE BASED ON SURVEY REFERENCES #1 & #2 LISTED HEREON TO WHICH REFERENCE SHOULD BE MADE FOR ADDITIONAL INFORMATION. PROPOSED BOUNDARIES & INFORMATION ARE BASED ON A SURVEY COMPLETED IN APRIL 2026 USING A TRIMBLE R750, R121 & R780 BASE ROVER CONFIGURATION. THE RESULTING ERROR MEETS OR EXCEEDS THE MINIMUM REQUIRED STANDARDS FOR A SUBURBAN SURVEY AS ESTABLISHED BY THE VERMONT BOARD OF LAND SURVEYORS. LOT 1 ACRES ARE BASED ON SURVEY REFERENCE #1; LOT 2 ACREAGE IS BASED ON MEASUREMENTS SURVEYED BY BARNARD AND GERVAIS, LLC.
 - ALL EVIDENCE OF MONUMENTATION FOUND ON THE SURVEYED PREMISES IS SHOWN HEREON. MONUMENTATION FOUND IS CONSIDERED TO BE IN GOOD AND STABLE CONDITION UNLESS OTHERWISE NOTED. ALL IRON PIPE DIMENSIONS PERTAIN TO INSIDE DIAMETER UNLESS OTHERWISE NOTED.
 - ALL REBARS SET ARE 5/8" WITH A CAP STAMPED AWW VTLS 0132699 AND ALL MONUMENTATION FOUND IS AS NOTED.
 - UNAUTHORIZED ALTERATIONS AND/OR MODIFICATIONS TO THIS PLAN SHALL INVALIDATE ANY AND ALL CERTIFICATIONS MADE BY BARNARD & GERVAIS, LLC AND FURTHER ANY PARTIES INVOLVED IN SAID ALTERATIONS AND/OR MODIFICATIONS SHALL BE HELD LIABLE AND MAY BE PROSECUTED IN A COURT OF LAW.
 - BARNARD AND GERVAIS, LLC MAKES NO WARRANTIES THAT ALL ENCUMBRANCES THAT EXIST FOR THE SUBJECT PARCEL ARE SHOWN HEREON. ADDITIONAL ENCUMBRANCES THAT MAY EXIST INCLUDE, BUT ARE NOT LIMITED TO, WETLANDS, WELL AND SEPTIC ISOLATION ZONES, HAZARDOUS WASTE SITES AND/OR BROWNFIELDS WITH ASSOCIATED ISOLATION ZONES.
 - THIS SUBDIVISION PLAT IS NOT INTENDING TO CREATE ANY EASEMENTS OTHER THAN THOSE SPECIFICALLY LISTED AND DESCRIBED HEREON. ANY DRIVES, PATHS, TRAILS OR OTHER AMENITIES SHOWN HEREON ARE CONSIDERED PRIVATE UNLESS OTHERWISE NOTED.
 - THE PROPOSED UTILITY LOCATIONS MAY BE MODIFIED WHEN INSTALLED DUE TO UNFORESEEN SITE CONSTRAINTS (E.G. LEDGE).

Town of Starksboro RECEIVED 05/14/2026

Exhibit L

RECEIVED FOR RECORD IN THE TOWN OF STARKSBORO

THIS ___ DAY OF _____, 20___

ATTEST: _____ TOWN CLERK

THIS IS A PRELIMINARY PLAN AND SHOULD NOT BE USED FOR CONVEYANCES

DATE	DESCRIPTION	BY
	REVISIONS	

BARNARD & GERVAIS, LLC Land Surveying, Water & Wastewater, Environmental Consulting

187 Main Street, P.O. Box 820, Eastbury, VT 05459
18223 VT Route 116, P.O. Box 133, Bristol, VT 05601
Telephone: (802) 933-5168 Telephone: (802) 482-2397

PROJECT NO. 25221

DATE: 05-05-2026

SCALE: 1"=30', 1"=300'

SURVEY: TG, DT

DRAWN: SB

CHECKED: AW

DRAWING NO. **PL-1**

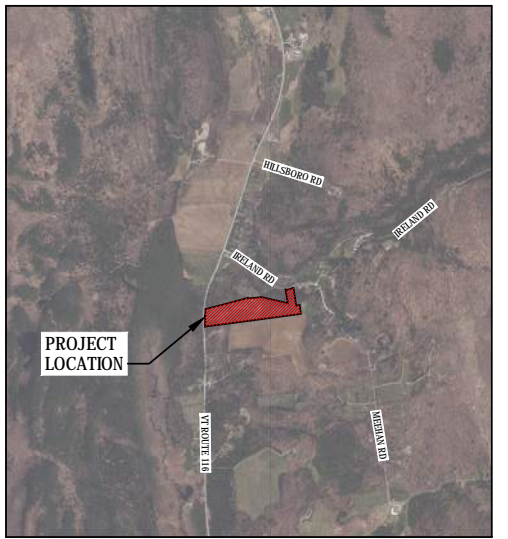
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:

SKETCH/CONCEPT PRELIMINARY FINAL LOCAL REVIEW

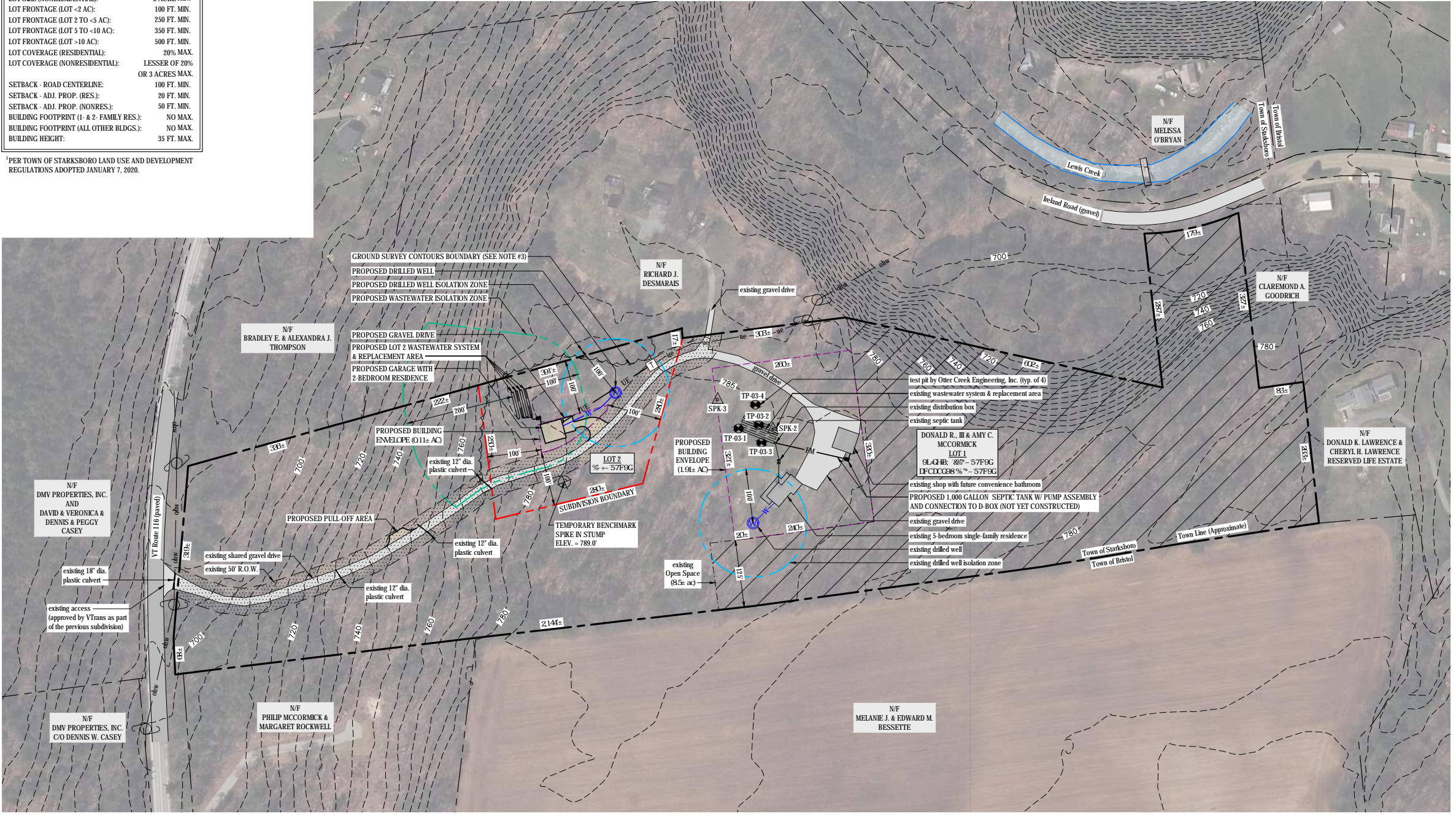
SHEET 1 OF 1

ZONING INFORMATION ¹	
ZONING DISTRICT	
AGRICULTURAL, SCENIC & RURAL RESIDENTIAL (ASRR)	
DIMENSIONAL REQUIREMENTS	
RESIDENTIAL DENSITY:	1 DU/ 10 AC MAX.
LOT SIZE (RESIDENTIAL):	1/2 - 2 AC OR >25 AC
LOT SIZE (NONRESIDENTIAL):	2 ACRE MIN.
LOT FRONTAGE (LOT <2 AC):	100 FT. MIN.
LOT FRONTAGE (LOT 2 TO <5 AC):	250 FT. MIN.
LOT FRONTAGE (LOT 5 TO <10 AC):	350 FT. MIN.
LOT FRONTAGE (LOT >10 AC):	500 FT. MIN.
LOT COVERAGE (RESIDENTIAL):	20% MAX.
LOT COVERAGE (NONRESIDENTIAL):	LESSER OF 20% OR 3 ACRES MAX.
SETBACK - ROAD CENTERLINE:	100 FT. MIN.
SETBACK - ADJ. PROP. (RES.):	20 FT. MIN.
SETBACK - ADJ. PROP. (NONRES.):	50 FT. MIN.
BUILDING FOOTPRINT (1 - & 2 - FAMILY RES.):	NO MAX.
BUILDING FOOTPRINT (ALL OTHER BLDGS.):	NO MAX.
BUILDING HEIGHT:	35 FT. MAX.

¹ PER TOWN OF STARKSBORO LAND USE AND DEVELOPMENT REGULATIONS ADOPTED JANUARY 7, 2020.



Project Location Map
Not to Scale

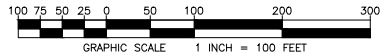


LEGEND

- BOUNDARY LINE/ R.O.W. (EXISTING)
- BOUNDARY LINE/ R.O.W. (PROPOSED)
- BOUNDARY LINE/ R.O.W. (ABUTTING)
- BOUNDARY LINE/ R.O.W. (TO BE DISSOLVED)
- SIDELINE OF EASEMENT
- EDGE OF ROAD/DRIVE (SURFACE NOTED)
- 100- 5-FOOT LIDAR CONTOUR (OBTAINED FROM VCGI DATABASE)
- BUILDING ENVELOPE
- TREE LINE
- PROPOSED LIMITS OF CLEARING
- S S GRAVITY SEWER (EXISTING)
- S S GRAVITY SEWER (PROPOSED)
- FM FM FORCE MAIN
- W W 1-INCH DIAMETER CL200 POLYETHYLENE PLASTIC WATER LINE (UNLESS OTHERWISE NOTED)
- WELL ISOLATION
- WASTEWATER ISOLATION
- UNDERGROUND ELECTRICAL CONDUIT
- ohw UTILITY POLE/ OVERHEAD WIRES
- ▲ SURVEY TRAVERSE STATION
- ⊕ TEMPORARY BENCHMARK (TYPE AND ELEVATION NOTED)
- ⊕ DRILLED WELL (UNLESS OTHERWISE NOTED)
- ⊕ TEST PIT (TP-01)
- ⊕ IRON PIPE FOUND
- [] OPEN SPACE AREA - EXISTING

Town of Starksboro RECEIVED
05/14/2026

Exhibit M



- PROJECT NOTES:**
- THIS IS NOT A BOUNDARY SURVEY. PROJECT PERMETER LINES ARE BASED ON A PLAN ENTITLED "LANDS OF DONALD R. & AMY L. MCCORMICK, 793 VT ROUTE 116, STARKSBORO, VERMONT, TWO LOT SUBDIVISION SURVEY PLAN" BY BARNARD AND GERVAIS, LLC, DATED 04-21-2026.
 - THE LOCATIONS OF EXISTING PHYSICAL FEATURES ON THIS PLAN ARE BASED ON A TOPOGRAPHIC SURVEY COMPLETED BY BARNARD AND GERVAIS, LLC IN MARCH, 2026.
 - THE ELEVATIONS ON THIS PLAN WITHIN THE DASHED BOUNDARIES SHOWN ARE 1-FOOT CONTOURS BASED ON NAVD88 (GEOID12B) ESTABLISHED FROM SURVEY GRADE GNSS READINGS COLLECTED WITH A TRIMBLE R12H GNSS RECEIVER ADJUSTED TO VERMONT GRID ON RANDOM CONTROL POINTS USING REAL TIME KINEMATIC CORRECTIONS FROM A VIRTUAL REFERENCE STATION OF THE VT CORN NETWORK. THE ELEVATIONS ON THIS PLAN OUTSIDE THE DASHED BOUNDARIES SHOWN ARE 1-FOOT LIDAR CONTOURS OBTAINED FROM THE STATE OF VERMONT VCGI OPEN DATA PORTAL DATABASE.
 - FOR CLARITY, TEXT IDENTIFYING EXISTING ITEMS IS LOWER CASE; TEXT IDENTIFYING PROPOSED ITEMS IS UPPER CASE.
 - NO ATTEMPT HAS BEEN MADE TO LOCATE ANY UNDERGROUND UTILITIES BY BARNARD AND GERVAIS, LLC. THE CONTRACTOR WILL BE RESPONSIBLE FOR CONTRACTING DIG SAFE TO HAVE ANY UNDERGROUND UTILITIES MARKED PRIOR TO ANY EXCAVATION OR SITE WORK. THE CONTRACTOR SHALL NOTIFY THE DIG SAFE NETWORK AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.

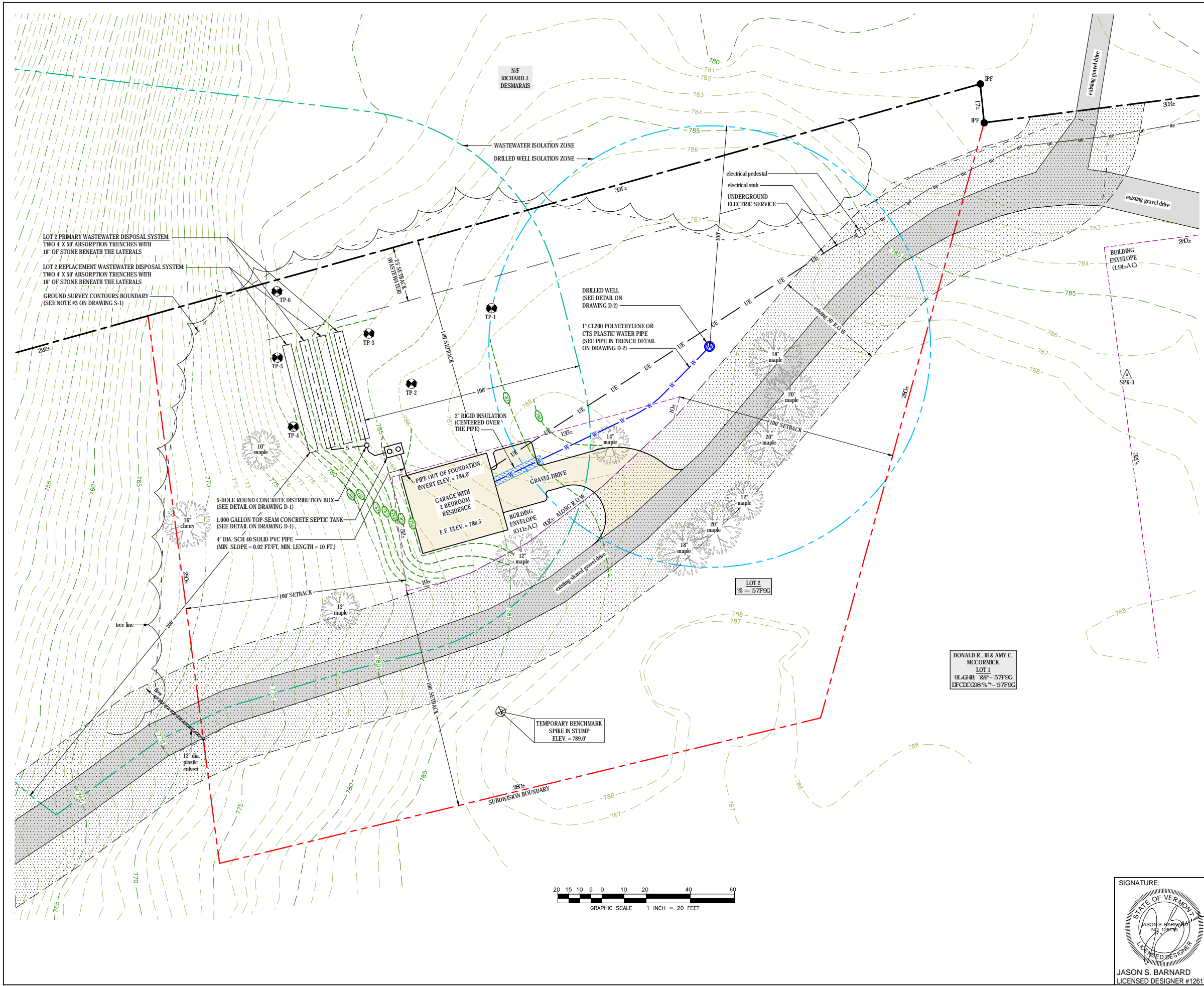
- THE LOT 2 WASTEWATER DISPOSAL SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE STATE OF VERMONT, AGENCY OF NATURAL RESOURCES, ENVIRONMENTAL PROTECTION RULES, CHAPTER 1, "WASTEWATER SYSTEM AND POTABLE WATER SUPPLY RULES" EFFECTIVE NOVEMBER 6, 2023.
- NO WETLANDS WERE SHOWN ON THE SUBJECT PARCEL ON THE "VERMONT NATURAL RESOURCES ATLAS" AND NO OTHER WETLAND DELINEATION OF SAID PARCEL HAD BEEN CONDUCTED OF WHICH BARNARD & GERVAIS, LLC IS AWARE. BARNARD & GERVAIS, LLC MAKES NO WARRANTIES THAT WETLANDS OR ASSOCIATED BUFFERS DO OR DO NOT EXIST ON SAID PARCEL. IT IS RECOMMENDED THAT THE LANDOWNER OR CONTRACTOR CONTACT A WETLAND SPECIALIST TO CONFIRM NO WETLANDS EXIST PRIOR TO ANY EARTH WORK OR CONSTRUCTION. BARNARD & GERVAIS, LLC DOES HAVE A WETLAND SPECIALIST ON STAFF.
- BARNARD & GERVAIS, LLC IS NOT RESPONSIBLE FOR ANY ASPECTS OF HEALTH AND SAFETY ASSOCIATED WITH THIS PROJECT.
- ALL EXCAVATION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE STATE OF VERMONT, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (VOSHA) GUIDELINES FOR TRENCH EXCAVATIONS.
- THE CONTRACTOR AND/OR LANDOWNER SHALL ADHERE TO THE GUIDELINES SET FORTH IN THE STATE OF VERMONT EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION SITES. IT IS THE RESPONSIBILITY OF THE LANDOWNER OR SITE CONTRACTOR TO ENSURE THESE GUIDELINES ARE FOLLOWED AND EROSION/SEDIMENT CONTROL MEASURES ARE MAINTAINED THROUGHOUT THE COURSE OF THE PROJECT.
- AS SHOWN, THE PROJECT CONTAINS 3,400 SF OF NEW IMPERVIOUS SURFACE AREA.

OWNER:
DONALD R., III & AMY L. MCCORMICK
DEED - Vol. 69, PG. 218
SPAN # 615-193-10972
PARCEL ID # 10972

SIGNATURE:

JASON S. BARNARD
LICENSED DESIGNER #126179

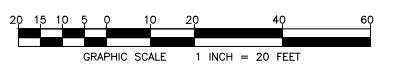
DATE	DESCRIPTION	BY
REVISIONS		
TWO-LOT SUBDIVISION WATER AND WASTEWATER DISPOSAL SYSTEM DESIGN DONALD R., III & AMY L. MCCORMICK 50 VT ROUTE 116, STARKSBORO, VERMONT		PROJECT NO. 25221 DATE: 05-05-2026 SCALE: 1" = 100' SURVEY: JG,DT,TG DRAWN: SB CHECKED: JSB DRAWING NO. S-1 SHEET 1 OF 4
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW: <input type="checkbox"/> PRELIMINARY DRAFT <input checked="" type="checkbox"/> FINAL STATE REVIEW		



- LEGEND**
- BOUNDARY LINE/ R.O.W. (EXISTING)
 - BOUNDARY LINE/ R.O.W. (PROPOSED)
 - BOUNDARY LINE/ R.O.W. (ABUTTING)
 - BOUNDARY LINE/ R.O.W. (TO BE DISSOLVED)
 - SIDELINE OF EASEMENT
 - EDGE OF ROAD/DRIVE (SURFACE NOTED)
 - 100--- 1-FOOT LIDAR CONTOUR (OBTAINED FROM VCGI DATABASE)
 - BUILDING ENVELOPE
 - TREE LINE
 - PROPOSED LIMITS OF CLEARING
 - S S GRAVITY SEWER (EXISTING)
 - S S GRAVITY SEWER (PROPOSED)
 - FM FM FORCE MAIN
 - W W 1-INCH DIAMETER CL200 POLYETHYLENE PLASTIC WATER LINE (UNLESS OTHERWISE NOTED)
 - WELL ISOLATION
 - WASTEWATER ISOLATION
 - UE UNDERGROUND ELECTRICAL CONDUIT
 - ohw UTILITY POLE/ OVERHEAD WIRES
 - ▲ SURVEY TRAVERSE STATION
 - ▲ TEMPORARY BENCHMARK (TYPE AND ELEVATION NOTED)
 - TEST PIT (TP-01)
 - SOIL BORING (SB-01)
 - DRILLED WELL (UNLESS OTHERWISE NOTED)
 - IRON PIPE FOUND


DONALD R., III & AMY C. MCCORMICK
 LOT 1
 91.4 GR. 38° - 57' FOG
 1/4 CDCC 98% * - 57' FOG


TEMPORARY BENCHMARK
 SPIRE IN STUMP
 ELEV. = 789.0'

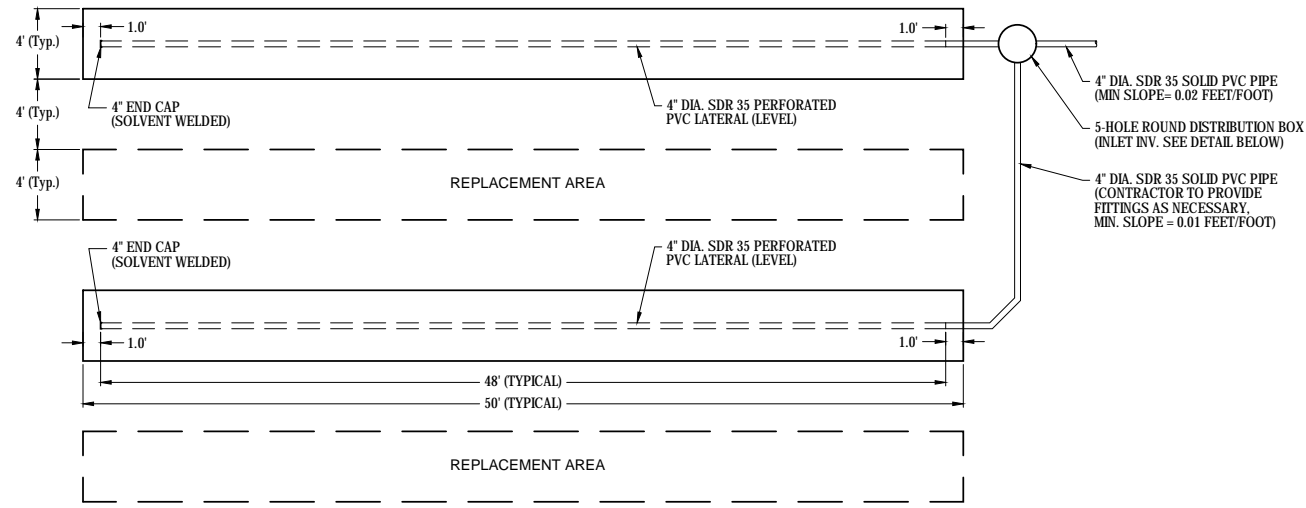


Town of Starksboro
RECEIVED
 05/14/2026

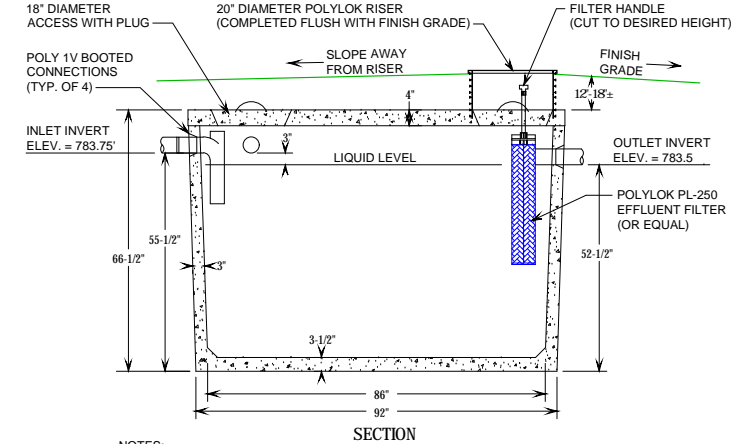
Exhibit N

DATE	DESCRIPTION	BY
REVISIONS		
 BARNARD & GERVAIS, LLC Land Surveying Water & Wastewater Environmental Consulting <small>167 Main Street, P.O. Box 820 Enosburg Falls, VT 05450 Telephone: (802) 833-5168</small>		
TWO-LOT SUBDIVISION WATER AND WASTEWATER DISPOSAL SYSTEM DESIGN DONALD R., III & AMY L. MCCORMICK 50 VT ROUTE 116, STARKSBORO, VERMONT		PROJECT NO. 25221 DATE: 05-05-2026 SCALE: 1" = 20' SURVEY: JG,DT,TG DRAWN: SB CHECKED: JSB DRAWING NO. S-2
LOT 2 SITE PLAN <small>THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:</small>		
<input type="checkbox"/> PRELIMINARY DRAFT		<input checked="" type="checkbox"/> FINAL STATE REVIEW
SHEET 2 OF 4		

SIGNATURE:

 JASON S. BARNARD
 LICENSED DESIGNER #126179

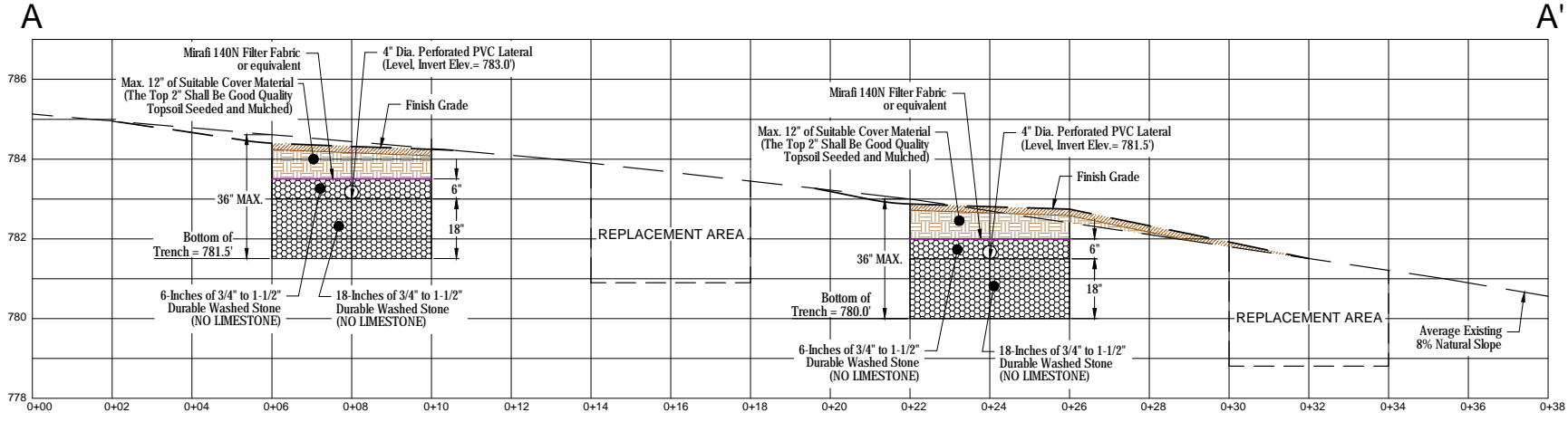


**LOT 2
GRAVITY IN-GROUND WASTEWATER DISPOSAL SYSTEM
PLAN VIEW DETAIL**
SCALE: 1-INCH = 5- FEET



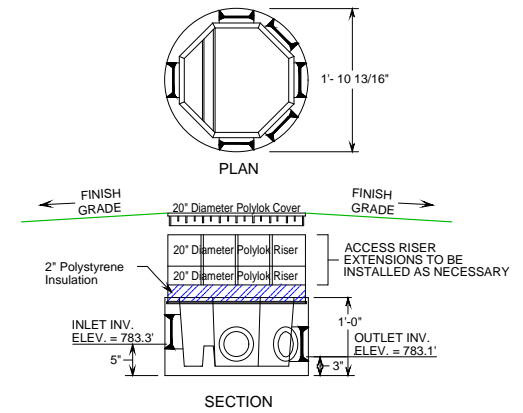
- NOTES:**
1. SEPTIC TANK SHALL BE SET LEVEL ON A MINIMUM OF SIX INCHES OF COMPACTED GRANULAR BASE.
 2. AN INLET TEE Baffle IS REQUIRED.
 3. IF WATER-PROOF BOOTED CONNECTIONS ARE NOT USED, ALL PIPE PENETRATIONS SHALL BE SEALED WITH A "WATER PLUG" NON-SHRINK HYDRAULIC CEMENT.
 4. EFFLUENT FILTER ACCESS SHALL BE COMPLETED FLUSH WITH FINISH GRADE.

**1,000 GALLON TOP-SEAM
CONCRETE SEPTIC TANK**
NOT TO SCALE



- NOTE:**
1. DISTRIBUTION LATERAL PIPE PERFORATIONS SHALL BE ORIENTATED SO THAT THE HOLES ARE AT 4 O'CLOCK AND 8 O'CLOCK WITH THE PIPE INVERT AT 6 O'CLOCK.

**LOT 2
GRAVITY IN-GROUND WASTEWATER DISPOSAL
SYSTEM SECTION**
SCALE: 1-INCH = 2- FEET

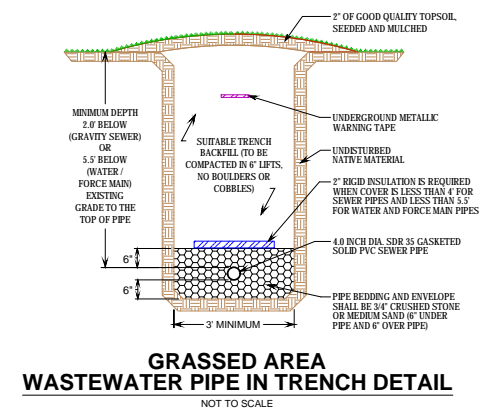


- NOTES:**
1. DISTRIBUTION BOX TO BE SET ON 6" OF GRANULAR BASE.
 2. FLOW EQUALIZERS ARE REQUIRED.
 3. D-BOX AND FLOW EQUALIZERS SHALL BE WATER LEVELED.
 4. ALL PIPE PENETRATIONS SHALL BE SEALED WITH A "WATER PLUG" NON-SHRINK HYDRAULIC CEMENT.
 5. DISTRIBUTION BOX ACCESS COVER SHALL BE COMPLETED FLUSH WITH FINISH GRADE.

**5-OUTLET ROUND
CONCRETE DISTRIBUTION BOX**
NOT TO SCALE

**WASTEWATER DISPOSAL SYSTEM
CONSTRUCTION AND MAINTENANCE NOTES**

1. THE IN-GROUND WASTEWATER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STATE OF VERMONT PERMITTED DESIGN DRAWINGS.
2. THE WASTEWATER DISPOSAL SYSTEM LOCATION SHALL BE STAKED OUT BY THE DESIGNER PRIOR TO START OF CONSTRUCTION.
3. THE DESIGNER SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE FOR INSPECTIONS OF THE SEPTIC TANK, PREPARATION OF THE ABSORPTION TRENCHES PRIOR TO PLACING THE SYSTEM STONE AND PRIOR TO FINAL COVERING OF THE WASTEWATER SYSTEM.
4. THE CONTRACTOR SHALL ADHERE TO VERMONT OCCUPATIONAL HEALTH AND A SAFETY GUIDELINES FOR EXCAVATING AND TRENCH EXCAVATIONS.
5. SEPTIC TANK EFFLUENT FILTER SHOULD BE REMOVED AND RINSED BACK INTO THE SEPTIC TANK ONCE A YEAR.
6. THE SEPTIC TANK SHALL BE INSPECTED ANNUALLY AND PUMPED OUT EVERY 3 YEARS.
7. FOLLOWING THE IN-GROUND WASTEWATER SYSTEM INSTALLATION, FINISH GRADE SHALL BE SEEDED AND MULCHED WITH A CONSERVATION GRASS SEED MIX.



**GRASSED AREA
WASTEWATER PIPE IN TRENCH DETAIL**
NOT TO SCALE

Town of Starksboro
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05/14/2026

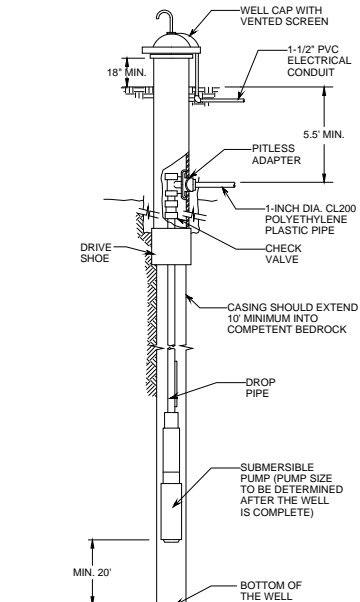
Exhibit O

SIGNATURE:

JASON S. BARNARD
LICENSED DESIGNER #126179

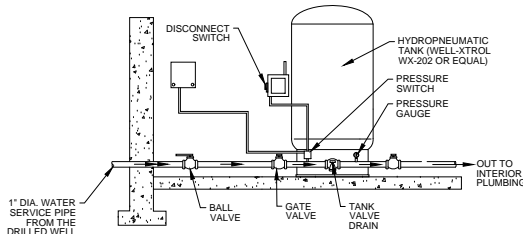
DATE	DESCRIPTION	BY
REVISIONS		
TWO-LOT SUBDIVISION WATER AND WASTEWATER DISPOSAL SYSTEM DESIGN		
DONALD R., III & AMY L. MCCORMICK		
50 VT ROUTE 116, STARKSBORO, VERMONT		
LOT 2 WASTEWATER SYSTEM DETAILS AND NOTES		
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/> PRELIMINARY DRAFT		<input checked="" type="checkbox"/> FINAL STATE REVIEW
DATE:	05-05-2026	PROJECT NO. 25221
SCALE:	AS NOTED	
SURVEY:	JG,DT,TG	
DRAWN:	CS	
CHECKED:	JB	
DRAWING NO.:	D-1	
		SHEET 3 OF 4

DRILLED WELL REQUIRED MINIMUM ISOLATION DISTANCES	
1. THESE DISTANCES APPLY TO DRILLED WELLS SERVING A SINGLE-FAMILY RESIDENCE, WITH A MAXIMUM DAILY DEMAND OF LESS THAN 1.9 GPM.	
2. THE DRILLED WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH §1-1206 OF THE STATE OF VERMONT ENVIRONMENTAL PROTECTION RULES, CHAPTER 1, EFFECTIVE APRIL 12, 2019.	
POTENTIAL SOURCE OF CONTAMINATION	SEPARATION DISTANCE
SEWAGE DISPOSAL FIELD WITH FLOWS <2000 GPD	200 FEET IF WELL IS DOWNSLOPE 100 FEET IF WELL IS UPSLOPE
SUBSURFACE WASTEWATER PIPING	50 FEET
EDGE OF RESIDENTIAL DRIVE SERVING 3 RESIDENCES OR LESS	5 FEET
EDGE OF DRIVEWAY, ROADWAY OR PARKING LOT SERVING 3 OR MORE RESIDENCES	25 FEET
PROPERTY LINE	10 FEET
BUILDINGS	5 FEET
LIMIT OF HERBICIDE APPLICATION ON UTILITY RIGHT-OF-WAY	100 FEET
SURFACE WATER	10 FEET
CONCENTRATED LIVESTOCK HOLDING AREAS AND MANURE STORAGE:	200 FEET
ABOVE GROUND	50 FEET
IN-GROUND CONCRETE/GEOSYNTHETIC LINED EARTHEN LINED	100 FEET
HAZARDOUS OR SOLID WASTE DISPOSAL SITE	200 FEET
NON-SEWAGE WASTEWATER DISPOSAL FIELDS	CONTACT DESIGNER
	CONTACT DESIGNER



NOTES:
 1. THE DRILLED WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH §1-1206 OF THE STATE OF VERMONT ENVIRONMENTAL PROTECTION RULES, CHAPTER 1, EFFECTIVE NOVEMBER 6, 2023.
 2. THE DRILLED WELL LOCATION SHALL ADHERE TO THE ISOLATION DISTANCES SHOWN ON THE DRILLED WELL ISOLATION TABLE ON THIS DRAWING.

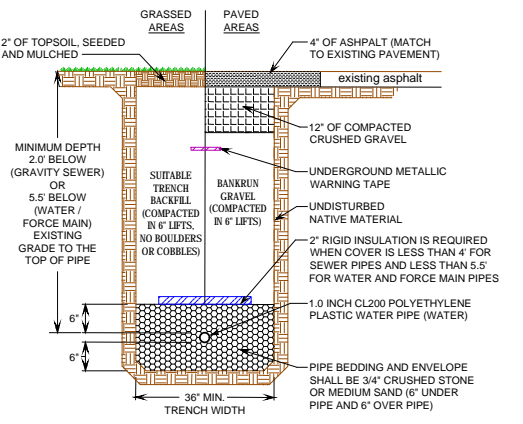
DRILLED WELL CONSTRUCTION DETAIL
NOT TO SCALE



NOTES:
 1. HYDROPNEUMATIC TANK (TO BE DETERMINED).
 2. PRESSURE SWITCH SETTING 40-60 PSI.

NOTE:
 ALL INTERIOR PLUMBING AND WATER DISTRIBUTION DESIGN TO BE PERFORMED ACCORDING TO APPLICABLE PLUMBING CODE BY A LICENSED PROFESSIONAL.

TYPICAL COMPONENTS FOR A DRILLED WELL SUBMERSIBLE WELL PUMP WATER SYSTEM
ELEVATION VIEW - NOT TO SCALE



GRASSED / PAVED AREA WATER PIPE IN TRENCH DETAIL
NOT TO SCALE

DRILLED WELL LEAKAGE, PRESSURE TESTING AND DISINFECTION:

LEAKAGE & PRESSURE TESTING: (PURSUANT TO §1-1209 OF THE CURRENT EPA)
 (A) WATER SERVICE LINES AND WATER SERVICE PIPES SHALL BE PRESSURE TESTED AND LEAKAGE TESTED ACCORDING TO ONE OF THE FOLLOWING PROCEDURES PRIOR TO PLACING THE POTABLE WATER SUPPLY INTO SERVICE:
 (1) VERMONT PLUMBING RULES;
 (2) THE AWWA; OR
 (3) BY PRESSURIZING THE LINES AND PIPES WITH WATER AT THE WORKING PRESSURE OF THE SYSTEM OR GREATER AND HOLD WITHOUT A DROP IN PRESSURE FOR A MINIMUM OF 16 MINUTES.
 (B) ATMOSPHERIC STORAGE STRUCTURES SHALL BE LEAKAGE TESTED ACCORDING TO THE FOLLOWING PROCEDURE TO ENSURE WATER LOSS IS EQUAL TO OR LESS THAN 0.05 OF 1 PERCENT OF THE TANK CAPACITY PRIOR TO PLACING THE STRUCTURE INTO SERVICE:
 (1) FILLING THE TANK WITH POTABLE WATER AND LET STAND FOR 24 HOURS; AND
 (2) MEASURING THE LOSS OF WATER OVER 24 HOURS.
 (C) IF THE WATER SERVICE LINE, WATER SERVICE PIPE, OR ATMOSPHERIC STORAGE STRUCTURE FAILS THE PRESSURE OR LEAKAGE TEST, THE CAUSE OF THE FAILURE SHALL BE REPAIRED, AND THE LINE, PIPE OR STRUCTURE RETESTED.

DISINFECTION: (PURSUANT TO §1-1210 OF THE CURRENT EPA)
 (A) THE DRILLED WELL SHALL BE DISINFECTED PURSUANT TO THE REQUIREMENTS OF SUBSECTION (B), (C), AND (D) PRIOR TO PLACING THE WELL INTO SERVICE AND AFTER ANY SERVICING OR REPAIR OF THE WELL, SUCH AS INSTALLATION OF NEW PIPES, WIRES, CASING, OR PUMPS.
 (B) DISINFECTION OF THE DRILLED WELL SHALL BE COMPLETED PURSUANT TO THE RECOMMENDATIONS BY THE VERMONT DEPARTMENT OF HEALTH FOR DISINFECTING A WATER SYSTEM, OR THE FOLLOWING METHOD:
 (1) FLUSH THE WELL UNTIL THE WATER RUNS CLEAR;
 (2) PROVIDE AN ADDITIONAL DOSAGE OF AT LEAST 100 MG/L OF CHLORINE IN THE WELL;
 (3) CIRCULATE THE WATER IN THE WELL; AND
 (4) ALLOW THE WATER TO REST IN THE WELL FOR A MINIMUM OF 12 TO 24 HOURS BEFORE DISPOSING OF THE CHLORINATED WATER.
 (C) DISINFECTION OF THE WATER SERVICE LINES AND WATER SERVICE PIPES SHALL BE COMPLETED PURSUANT TO THE REQUIREMENTS OF THE VERMONT PLUMBING RULES OR THE FOLLOWING METHOD:
 (1) FILL THE WATER SERVICE LINE OR WATER SERVICE PIPE WITH A WATER/CHLORINE SOLUTION OF 100 MG/L; AND
 (2) ALLOW THE CHLORINATED WATER TO REST IN THE WATER SERVICE LINE OR WATER SERVICE PIPE FOR A MINIMUM OF 24 HOURS BEFORE DISPOSING OF THE CHLORINATED WATER.
 (D) DISINFECTION OF WATER STORAGE TANKS SHALL BE COMPLETED PURSUANT TO AWWA STANDARD C652.
 (E) CHLORINATED WATER USED TO DISINFECT OR RESULTING FROM DISINFECTION OF THE DRILLED WELL SHALL NOT BE DISCHARGED TO A WASTEWATER SYSTEM OR TO SURFACE WATER. PROPER DISPOSAL OF THE CHLORINATED WATER IS TO THE GROUND SURFACE THROUGH SHEET FLOW THAT INFILTRATES INTO THE SOIL OR DISPOSAL TO A WASTEWATER TREATMENT FACILITY, IF AUTHORIZED BY THE WASTEWATER TREATMENT FACILITY.

GRAVITY & PRESSURIZED IN-GROUND CONSTRUCTION INSTRUCTIONS:
 IN-GROUND CONSTRUCTION PROCEDURES ARE JUST AS IMPORTANT AS THE IN-GROUND DESIGN. GOOD DESIGN WITH POOR CONSTRUCTION WILL RESULT IN THE IN-GROUND OPERATING POORLY AND MAY RESULT IN FAILURE. PROPER EQUIPMENT IS ESSENTIAL. SMALL TRACK TYPE EXCAVATORS WORK BEST. WHEEL TYPE TRACTORS ARE TOO DIFFICULT TO MANUEVER IN THE FILL. THE FOLLOWING IS A STEP BY STEP PROCEDURE FOR IN-GROUND CONSTRUCTION WHICH HAS BEEN TRIED AND PROVEN. OTHER TECHNIQUES COULD BE USED AS LONG AS THE BASIC PRINCIPLES OF IN-GROUND DESIGN, OPERATION, AND CONSTRUCTION ARE NOT VIOLATED.

- STAKE OUT THE TRENCH LOCATIONS ON THIS SITE SO THAT THE TRENCHES RUN PERPENDICULAR TO THE DIRECTION OF THE SLOPE. REFERENCE STAKES ARE RECOMMENDED IN CASE CORNER STAKES ARE DISTURBED.
- GRAVITY-FED: STAKE OUT THE LOCATION OF THE DISTRIBUTION BOX (D-BOX) AND DETERMINE THE INLET ELEVATION WHERE THE GRAVITY SEWER PIPE CONNECTS FROM THE SEPTIC TANK. PRESSURIZED: DETERMINE WHERE THE FORCE MAIN FROM THE PUMP CHAMBER CONNECTS TO THE DISTRIBUTION SYSTEM IN THE TRENCHES.
- GRAVITY-FED: TRENCH AND LAY THE GRAVITY SEWER PIPE FROM THE SEPTIC TANK TO THE D-BOX. PRESSURIZED: TRENCH AND LAY THE FORCE MAIN FROM THE PUMP CHAMBER TO THE MOUND. LAY THE PIPE 5.5' BELOW THE GROUND SURFACE FOR FROST PROTECTION. WHERE THERE IS LESS THAN 5.5' OF COVER INSULATE WITH 2\"/>

Exhibit P
Town of Starksboro
RECEIVED
05/14/2026

SIGNATURE:

JASON S. BARNARD
 LICENSED DESIGNER #126179

DATE	DESCRIPTION	BY
REVISIONS		
TWO-LOT SUBDIVISION WATER AND WASTEWATER DISPOSAL SYSTEM DESIGN		DATE: 05-05-2026
DONALD R., III & AMY L. MCCORMICK		SCALE: AS NOTED
50 VT ROUTE 116, STARKSBORO, VERMONT		SURVEY: JG,DT,TG
LOT 2 WATER SYSTEM DETAILS & NOTES AND IN-GROUND SYSTEM CONSTRUCTION INSTRUCTIONS		DRAWN: CS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		CHECKED: JB
<input type="checkbox"/> PRELIMINARY DRAFT	<input checked="" type="checkbox"/> FINAL STATE REVIEW	DRAWING NO. D-2
		SHEET 4 OF 4

Exhibit Q

ZA Meeting Notes:

RE: 26-DRB-03SD McCormick Subdivision Pre-application meeting

Date: March 17, 2026

Attendees:

Don McCormick, Jason Barnard, Steve Rooney

Discussion:

Lot info: Parcel 10972 (E2116L2W.2), ASRR district.

Original subdivision Plat Map 32C, original subdivision Planning Commission hearing 02-101 held 3/28/02.

Existing 9 acre set-aside required by 1998 subdivision amendments Section 1.8.

DRB cannot waive 252.B per 300.B and 423.A. (and cannot waive other lot requirements for a new lot).

Original 21.6 acre lot, with proposed new 2 acre lot leaves 19.6+/- acres of original lot. Lots comply with 252.B exception (1) for lot sizes.

1 existing house on 19.6 acres w/ 1 new house on 2 acres would max out the building rights on original parcel under current 1du/10acre density in Section 211.

New lot location currently has no lot frontage (shared driveway easement does not qualify as a road per 510.R(8) definition of road), so 100ft setbacks required around entire perimeter per 301.C.

Existing drive radius at road to be checked that it meets VTrans standards for the number of houses.

END OF NOTES